
MEMORANDUM

PROJECT: 210144 – Third Street Reconstruction
DATE: 07/07/2023
TO: City of Riverside – City Council
TOPIC: City Council Work Session – Project Closeout and Concerns

Axiom has received a list of concerns from property owners and residents along the Third Street Reconstruction project limits in preparation for our walk through on site with City staff and City Council members. Please see below information related to each of these items as reference and additional details prior to the work session in hopes that this better prepares everyone. Note, I have grouped some of these together that are of similar topic or complaint. I have also included a separate document related to the request sent by council member Kevin Kiene as it relates to construction of stairs and safety rail above retaining wall.

Complaint: Backfill or Fill Dirt Needed

Location: Greene to Ella, NW Ella & 3rd St, Ella to Rose, 191 N Ella, 251 & 271 E 3rd St., SW Hickory St. & 3rd St.

Response: All of these areas and other additional locations have been noted during our previous walk throughs with the contractor and have been included on the active Punchlist. It has been determined that remaining backfill around these areas would be provided in the fall at the same time in which they backfill can be seeded and grass established so that fill dirt is not exposed without stabilization and erodes away. Due to the time of year, and being outside seeding dates, it is not practical to provide fill and seed until that time.

Complaint: Clean Storm Water Intake

Location: 160 E 3rd St.

Response: This item was observed during walk through with contractor and is currently listed on the active Punchlist.

Complaint: 3 Loose Retaining Wall Block

Location: 91 W 3rd St.

Response: This item was observed during walk through with contractor and is currently listed on the active Punchlist.

Complaint: Lot Pins Removed

Location: 31 E 3rd St.

Response: Axiom will be verifying all property pins within the project limits and resetting any pins that have been disturbed or removed during construction. This address is already on our list and new pins will be set soon by Axiom's survey crew.

Complaint: Remove Chunk of Concrete By Curb

Location: 270 E 3rd St.

Response: Have added to contractor's punchlist to be removed.

Complaint: Remove Railroad Tie

Location: 141 W 3rd St.

Response: This item was not observed in previous walk throughs so unclear as to when this occurred but we can get added to contractor's punchlist if truly a result from construction.

Complaint: Requested Stairs to 3rd St. and/or Alley Improvements

Location: Block of Washburn St. to Glasgow St. (north side of 3rd Street)

Response: During the design phase Axiom was directed not to provide sidewalk connection or access from right-of-way sidewalk to 3rd Street back of curb throughout this block. The plans throughout the design review and public information meetings were shown without such connection which held true through construction and completion of improvements. Following a concern/request received by City staff and forwarded to Axiom, we pursued the feasibility to retrofit stairs and sidewalk connection between 71 W 3rd St. and 31 W 3rd Street; however, this would result in removal of substantial new construction and significant costs due to modifications to new retaining wall, removal and replacement of new sidewalk, grading, etc. It was then noted that the alley behind these properties (between 3rd and 4th St.) is unable to be accessed by delivery vehicles and garbage. Axiom then assessed the existing grades and grade changes within the existing alley and agreed that they are steep and severe. The east connection to Washburn was unchanged as part of this project as it was outside of the project limits, and the west connection was previously very steep and not improved as part of this project due to fact that Glasgow St. was widened which shortened the alley approach and made the slope steeper. As a result, Axiom provided a preliminary design to improve the alley approaches/connections which resulted in recommendation to remove and replace the entire block of alley due to how far in each direction the grade would need to be improved to make this a viable path of travel for delivery vehicles and/or garbage. A Opinion of Cost was completed via Axiom and Streb, which resulted in an estimated \$65,000 for grading, rock, and pavement (does not include erosion control or miscellaneous items).

Complaint: Kennedy Corner Staircase – Connect Railings, Backfill, Permanent Solution to Gap in Wall

Location: 71 E 3rd St.

Response: It appears that our construction drawings do depict a railing wrapping around and connecting between the railing going up the stairs into the safety rail along the top of retaining wall and sidewalk. I am inquiring with Streb and their subcontractor, Big Iron, as to the reason why this was not implemented or constructed in that manner. Likewise, I am following up with our Axiom team as it relates coordination and communication between City staff and contractor if for some reason it was determined not to include such railing for a specific reason. Axiom will follow up on resolution.

Complaint: Sanitary Sewer Service

Location: 71 E 3rd St.

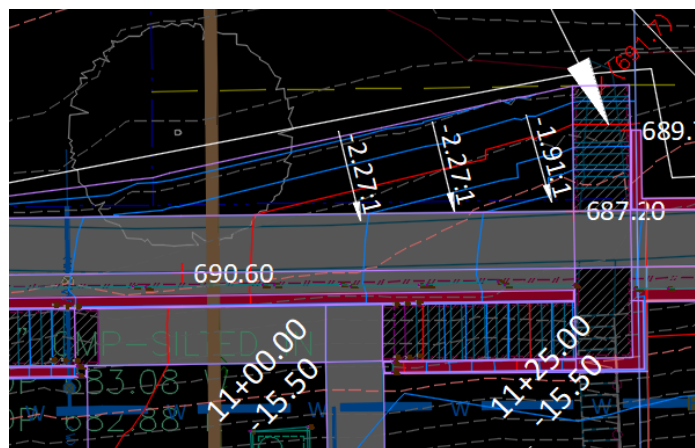
Response: Mrs. Kennedy claims that the new sanitary sewer service was installed with a 90-degree bend rather than two (2) 45-degree bends which could cause issues in the future. However, this service was installed with two (2) 45-degree bends, inspected and verified in the field at the time of construction, and picture documenting such installation is attached below.



Complaint: Grading on West Side of Stairs

Location: 31 and 71 E 3rd St.

Response: I have evaluated the finished grade slopes on the west side of the stairs at 71 E 3rd St. and it does appear that they are on the steep side and surpass the design standards typically followed in terms of mowing and maintenance, which is a maximum 3:1 slope. Options to remedy would be to either consider a small retaining wall on this upper level, or grade further back into the property to transition and blend grades so that flatter than a 3:1 slope.



Code Requirements For Stairs:

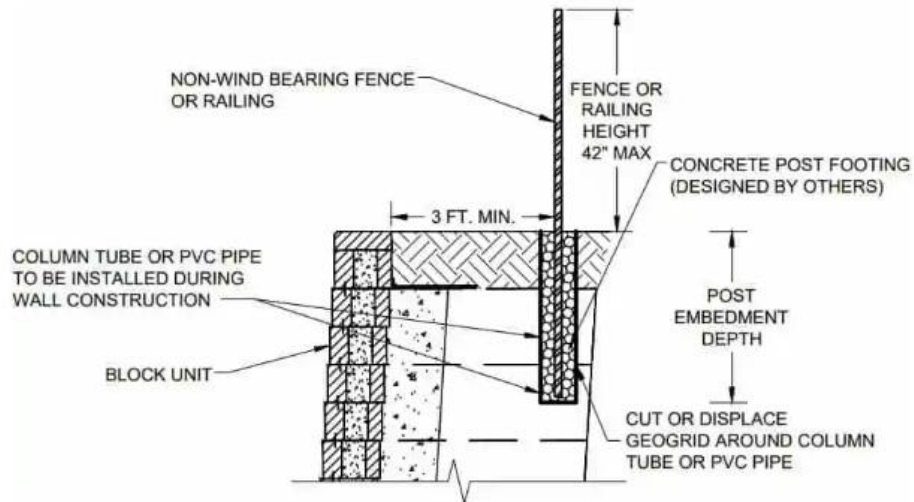
SUDAS specifies design standards and construction specifications as it relates to new stairs. The attached detail represents these design standards and specifications, and such detail was included as part of the construction drawings and contract documents for this project. All stairs installed as part of this project were inspected and have been verified to meet such parameters with as-built measurements taken, including those at 71 E 3rd St. In summary, the stair riser height is to be between 4" and 7" in height, and the stair tread minimum 11" in depth. Below are the measurements taken for the second level stairs in question at 71 E 3rd St.

Code Requirements for Guard Rail/Safety Rail:

There are different requirements based on whether the retaining wall is within public right-of-way, public (City, State, Federal) funding is involved, or it is within private property. As per International Building Code Section 1015.2, *guards* must be installed along open-sided walking surfaces, including stairs, ramps, aisles, and landings that are located at a height greater than 30 inches measured vertically from the floor or a grade below 36 inches horizontally towards the edge of an open side. Per the International Residential Code, a Guard is defined as the following: *"A building component or a system of building components located near the open sides of elevated walking surfaces that minimizes the possibility of a fall from the walking surface to the lower level."* For the sake of this discussion, I am considering the term "safety rail" to mean guardrail, safety rail, or fence. Due to the fact that the back of this retaining wall is adjacent to private property and not an open-sided walking surface (sidewalk or trail), no safety rail was required or included in the plans or contract documents. As previously noted to the Kennedy's, it is common to see retaining walls without safety rail behind the wall within private property for walls exceeding 30 inches in height, and just a few examples of many were provided. There are several within Riverside but many more all over the corridor and beyond. I will note that the Iowa City First Avenue project the Mrs. Kennedy noted in her response was a project that utilized State and Federal funds so it was determined by the City that they should include railing even on the second level wall that is adjacent to residential front yards. It should be noted that other alternative options have been provided that can be considered another option to a structured safety rail such as vegetative screening in the form of shrubs/bushes/landscaping. We personally have utilized such practice on a couple of projects (i.e. senior living) where safety rail was not mandatory/required but some type of safety measure desired. If a structured safety rail is desired, such as a fence, it should be noted that there are a couple of ways in which this can be installed, which will impact additional front yard space and obviously impact the aesthetics of the property. I have provided two examples of such fence installation on the following page. If so installed, the long-term maintenance and responsibilities of such fence should be considered and agreed upon between the City of Riverside and the property owner.

Fence Post Placement

When installing a fence on top of an SRW, the fence posts should be placed at least 3 feet behind the wall. This is to ensure that the fence posts do not interfere with the structural integrity of the wall and its drainage system.



Use sonotubes* when installing fence posts with geogrid reinforced SRW walls to avoid damaging the geogrid.

Sleeve-it System

Another option for installing a fence post on top of an SRW is to use the Sleeve-it system*. This system uses sleeves that are placed in the wall during construction to allow the fence posts to be inserted after the wall is built. This system allows the fence posts to be placed closer to the wall without interfering with the structural integrity and drainage of the wall.



Sleeve-it System* in wall



Sleeve-it System* dimensions

In addition to the previous list of compiled concerns, I would like to note a few other issues that have been directed to me previously, so you have as reference.

Complaint: Installation of Sidewalk and Parkway Grading

Location: 131 E 3rd Street

Response: Per Mr. Jensen's request, I met on site several times and discussed his concerns. We followed up with an as-built survey of the sidewalk and grading of parkway between the sidewalk and back of curb. I have attached our correspondence to this Memo.

Complaint: Front Yard Grading and Lack of Retaining Wall

Location: 150 W 3rd St.

Response: Per Mr. Petersen's request, I met on site to evaluate the grading in his front yard as it was his opinion a retaining wall should have been designed and included to provide a flat front yard for his use. I followed up with Mr. Petersen and had several discussions, noting the slope of his grade and the parameters in which a retaining wall is implemented versus straight grading. Mr. Petersen acknowledged and understood, and asked if the contractor and/or City could provide a small stockpile of dirt so that if he were to install his own retaining wall he could use that dirt to fill in behind the wall. I discussed with PCI while on site in which they noted they would provide if they had remaining but I don't believe that came to fruition.

Complaint: Additional Retaining Wall and Front Yard Grading

Location: 91 W 3rd St.

Response: Per Mr. Kennedy's request, I met on site to hear his concerns and evaluate the conditions. Mr. Kennedy requested an additional row of retaining wall block be placed on the wall west of his front sidewalk so that it was even with the wall on the east side; however, this was not deemed necessary as the grade was perfectly fine in the front yard and the slope of the yard and street slope down from east to west which is why the discrepancy in height. He also asked why the retaining wall on the east side of the stairs had a 90-degree bend rather than running straight east along the sidewalk, in which I noted this was a valid question and observation. I followed up with the fact that the wall angled in this situation to avoid wall running over the water and sanitary sewer services and in hopes to protect tree roots and survival of the pine tree located in the front yard.

Complaint: Request for Sidewalk and/or Stairs between house and 3rd St. Curb

Location: Various

Response: As previously noted, it is not advised or standard practice to provide sidewalk connections between residential properties and the street for a number of reasons. With that, we were directed to provide at certain properties based on discussions with previous City Administrator and/or dependent upon if such sidewalk or connection previously existed and of sound build (i.e. concrete). I have attached several photos of previously existing "connections" that were not included in the design and final construction.

List of Sidewalk Connections previously existing and replaced as directed:

- 341 E 3rd St.
- 250 E 3rd St.
- 211 E 3rd St.
- 131 E 3rd St. (w/ stairs)
- 151 E 3rd St. (w/ stairs)
- 71 E 3rd St. (w/ stairs)
- 31 E 3rd St. (w/ stairs)
- 291 E 2nd St.
- 221 N Washington St.

Below are others that had non-conforming connections previously and not replaced as directed:



160 E 3rd St.



21 E 3rd St.



21 E 3rd St.



31 W 3rd St.

Additional photos of previously existing grades in front of yards previously discussed:



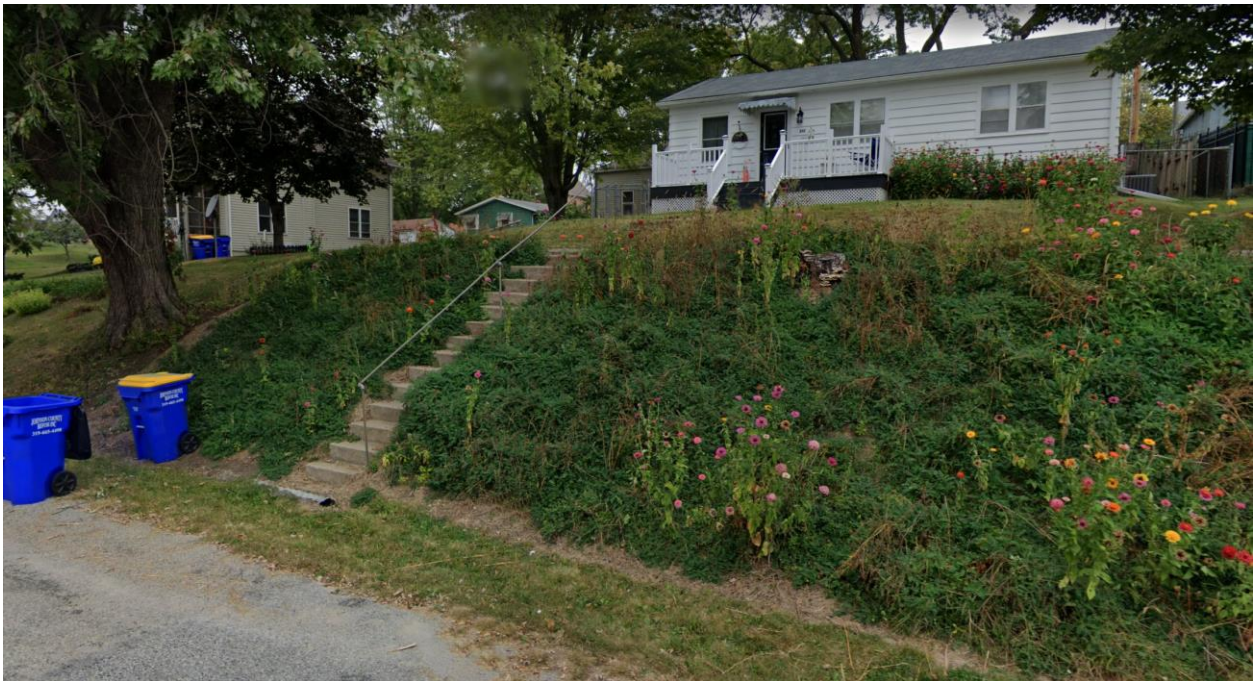
71 E 3rd St.



71 E 3rd St.



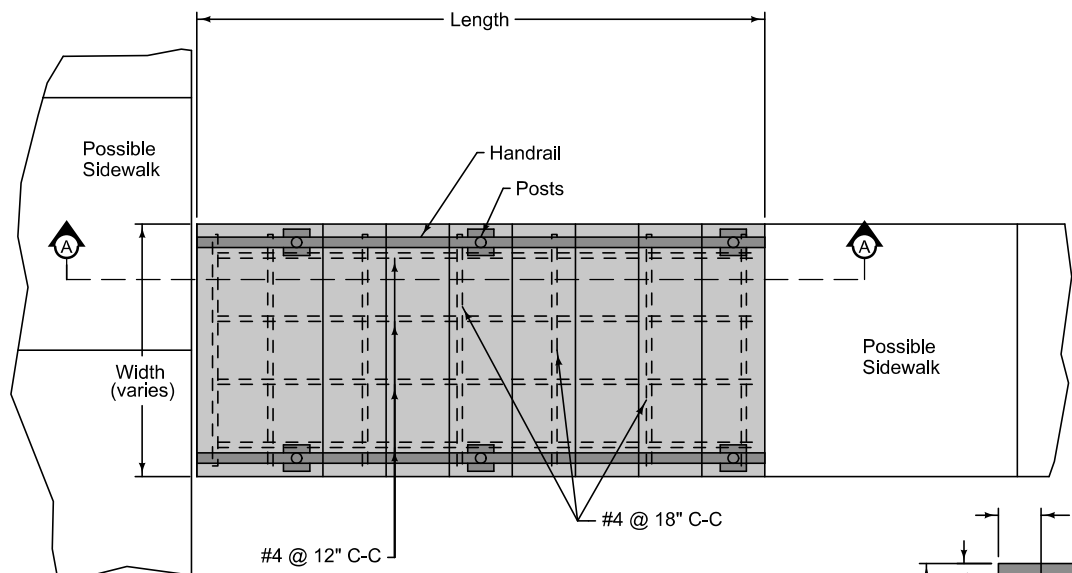
71 E 3rd St.



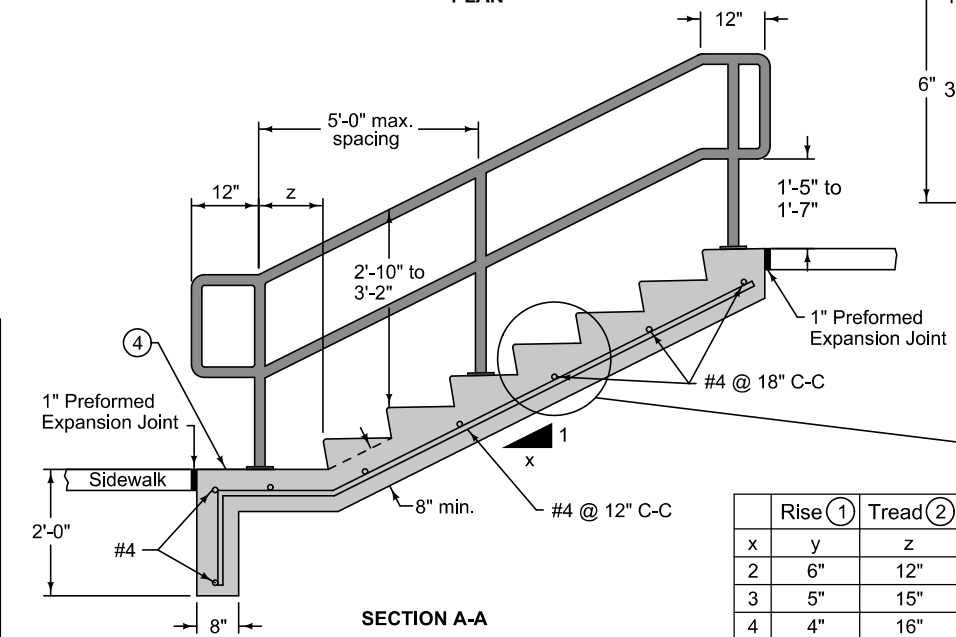
31 E 3rd St.



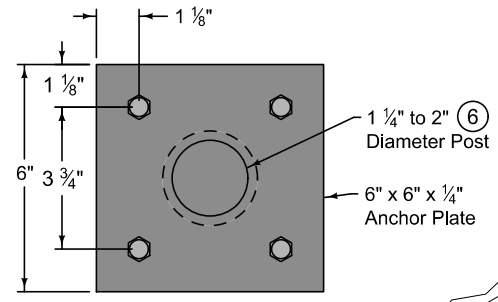
131 and 151 E 3rd St.



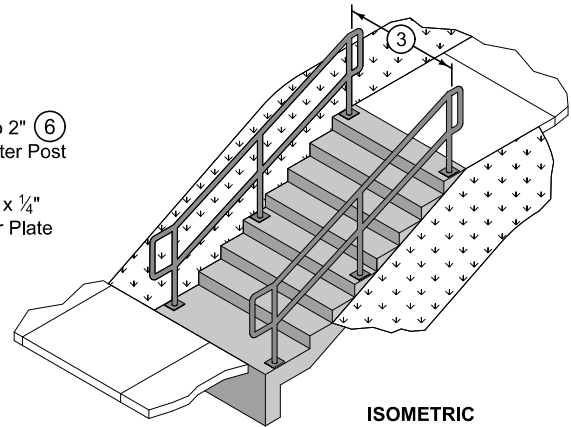
PLAN



SECTION A-A



ANCHOR PLATE DETAIL



ISOMETRIC

Provide a minimum of 2 inches of cover for all reinforcing.

Ensure all risers are an equal height and all treads are an equal depth within a flight of stairs.

- ① Minimum riser height is 4 inches. Maximum riser height is 7 inches.
- ② Minimum tread depth is 11 inches.
- ③ Match existing sidewalk width.
- ④ Construct cross slope of landing to match adjacent sidewalk.
- ⑤ Slope tread 1% minimum to 2% maximum in any direction.
- ⑥ Weld post to anchor plate with 1/4 inch weld. Grind weld to provide smooth surface, free of burrs.

	Rise ①	Tread ②
x	y	z
2	6"	12"
3	5"	15"
4	4"	16"

FIGURE 9080.101 SHEET 1 OF 1

	<small>REVISION</small> 2 10-16-18
	SUDAS 9080.101
	SHEET 1 of 1
SUDAS Standard Specifications	
TYPE A CONCRETE STEPS WITH HANDRAIL	

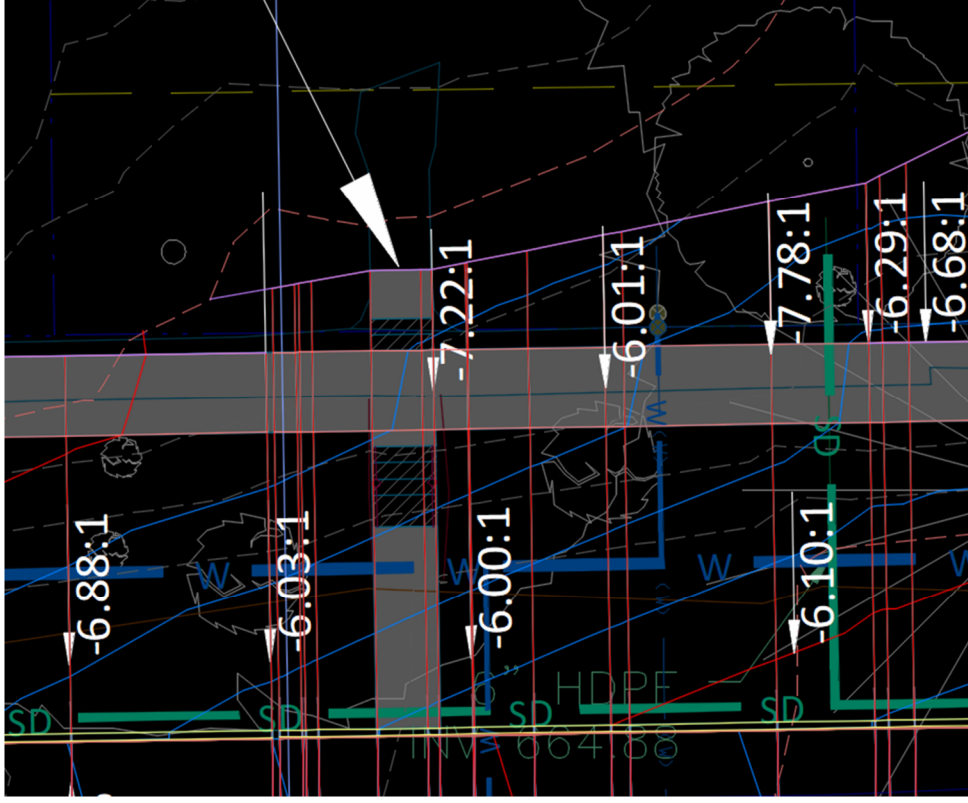
From: Brian Boelk
Sent: Monday, March 7, 2022 6:57 AM
To: Garagejj@aol.com
Cc: Christine Yancey
Subject: 210144 - 131 E Third Street - Property Owner Follow-up

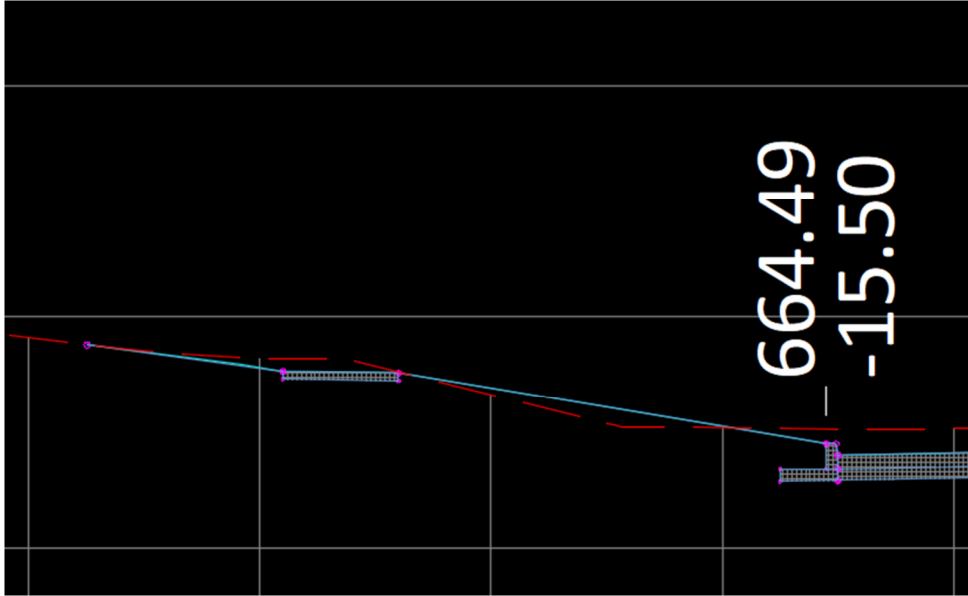
Good morning Mr. Jensen. I wanted to follow up with you based on our discussions following the City Council meeting on February 21st.

The grading at your address is simply to blend back your front property at a flatter slope. The grading to do this is pretty minimal and we can sure go a bit steeper and match back in faster if desired so to disturb less of your yard and possible landscaping. The grading is only planned to be a slight cut as shown with the section snip below. We can probably pull it back to a 4:1 in that area and really pull it in furth. If that is the case, we could change from a 15' temporary grading easement to a 5' temporary grading easement. As seen below, a bit of the easement as currently shown is unneeded; however, we depict that way for the sake of a straight line off the south of the lot.

The second drawing below shows your existing grade in dashed red and the proposed grade in solid white. I know this is probably hard to decipher so happy to meet in person on site or at City Hall.

Thanks,



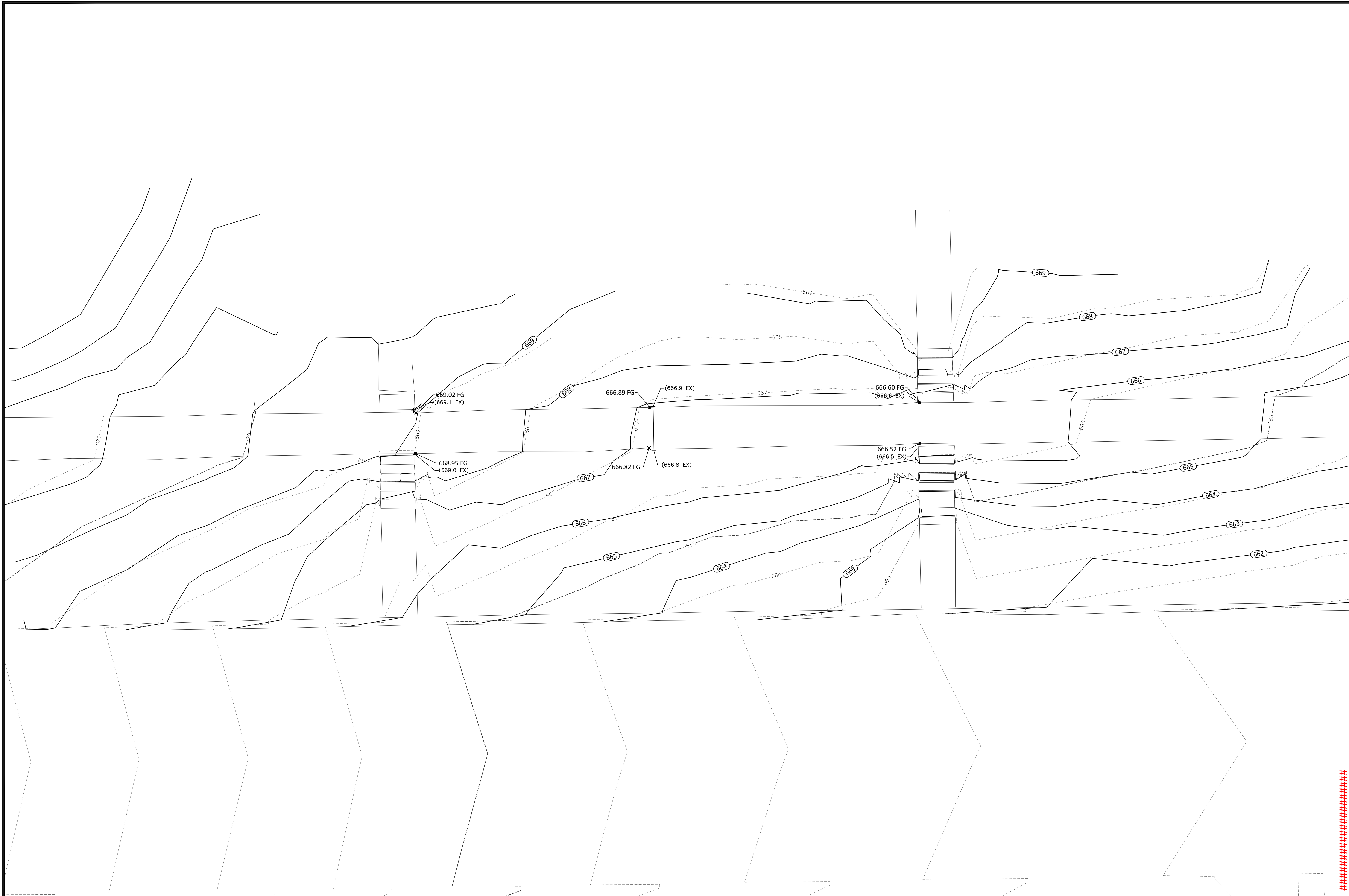



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056

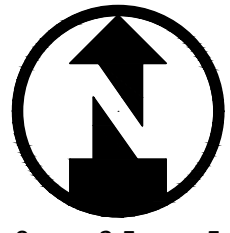







 ENGINEER: **AXIOM CONSULTANTS**

 WWW.AXIOM-CON.COM | (319) 519-6220





REV	DESCRIPTION OF CHANGES	DATE

PROJECT NAME: #####

CLIENT NAME: #####

SHEET NO.: #####

SHEET NUMBER: #####

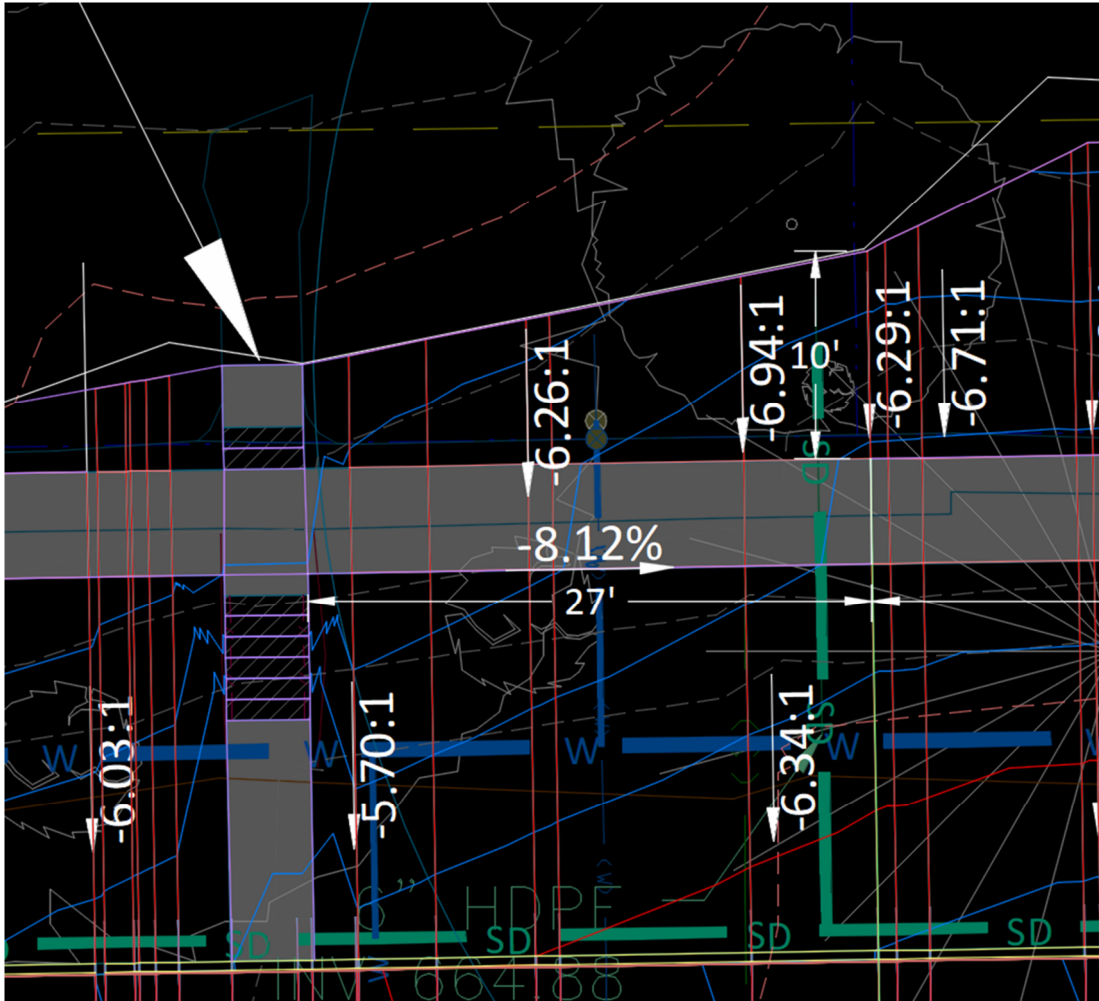
DESIGNED, DETAILED, AND CHECKED BY: #####

#####

From: Brian Boelk
Sent: Wednesday, May 17, 2023 3:56 PM
To: Garagejj@aol.com
Cc: Cole Smith; Jesse Hahn; Jen Primmer; Allison Wagner; Nick Bettis
Subject: FW: 210144- grading at Jensen
Attachments: [1 OF 1 131 E 3RD ST.pdf](#); [1 OF 1 151 E 3RD ST.pdf](#)

Good afternoon Jeff. In follow up to our conversation Monday night, I have looked into the design of the sidewalk and grading in front of 131 and 151 W 3rd Street. I know this is a messy drawing below but wanted to show you the findings and explain why we did what we did.

- The sidewalk is designed to slope west to east the entire length between both sets of stairs. However, it flattens out quite a bit at that grade break, as shown by the 8.12% and 0.98%. That grade is approximately 27' from your stairs Jeff as shown below.
- The reason for this grade break rather than a straight slope from stair to stair was due to keeping that front parkway/lawn slope between the sidewalk and back of curb as close to a 6:1 slope as possible for the purpose of mowing and maintaining lawn. If we were to straight grade that slope it would have raised that sidewalk higher and increased the slope between sidewalk and back of curb.
- In terms of grading into your yards (behind the ROW), the design shows grading limits went ~10' into your yard Jeff and ~15' into Shannon's yard. This can be verified in the field to see if the contractor followed such grading plan. We rounded that easement off to 15' to ensure enough access was made available for this grading per the attached Easement Exhibits.
- I appreciate the information your provided regarding the sump pump connection and concern that there is a blockage or break in the line based on the fact that you are still seeing water pool up behind and/or at the sidewalk after a rain event. I have copied in the contractor, Jesse, to see if he can take a look at this further. We too can evaluate after the next rain or if you are able to take a photo at the time it occurs that would also be helpful. I know the contractor did a repair on the sump pump connection as we discussed out on site, but certainly will make sure that the tile line and connection as a whole are intact as they should be.



I can have one of our surveyors shoot the sidewalk and grading as constructed to verify it was built to design. If so, unless City staff or City Council feel there is a need to vary from the original design, we would assume the existing condition is acceptable once grading is cleaned up, properly prepped for seeding, and seeded.

If you would like to meet back on site with this in hand let me know and I would be happy to do so. I am out of the office the next two days so it would have to be early next week, or you could meet with another representative from Axiom.

Thanks Jeff for your communication and cooperation.



CLIENT PROGRESS REPORT

AXIOM PROJECT NO.	DATE
CLIENT PROJECT NO.	PAGE

PROJECT NAME

AXIOM REPRESENTATIVE (reported by)

CURRENT ACTIVITIES and SCOPE of WORK

CLIENT REPRESENTATIVE (reported to)

CURRENT PHASE

NEXT PHASE

OTHER

SCHEDULE ITEMS

AXIOM PROJECT NO.	DATE
CLIENT PROJECT NO.	PAGE

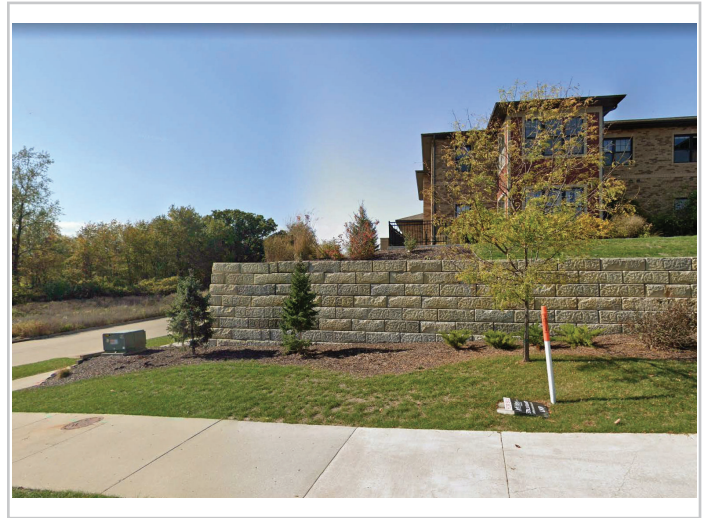
PROJECT COORDINATOR or MANAGER SIGNATURE

NOTICE: AXIOM personnel have completed this report to the best of their ability in the most accurate fashion possible at the time and with the information available at the time of its writing. This report serves as a snapshot of design-phase progress and is provided to the Client in order to update them on the general overall status of the design team (and possibly subconsultants) in relation to the contracted scope of work. This report should not serve as official scheduling document in so far as it may contradict the originally contracted work or pertain to adjustments in the overall scope of work. The report is intended as an informational document only - to be used by the client in understanding the current workload and path of the design team.

AXIOM PROJECT NO. 210144	DATE 4/11/23
CLIENT PROJECT NO. City of Riverside	PAGE 3



Requesting that some type of safety rail or fence be placed on top of the retaining wall within the private property.



Example of retaining wall within private property without railing in Iowa City.



Example of retaining wall within private property without railing in Riverside.



Example of retaining wall within private property without railing in Riverside.

PROJECT COORDINATOR or MANAGER SIGNATURE

NOTICE: AXIOM personnel have completed this report to the best of their ability in the most accurate fashion possible at the time and with the information available at the time of its writing. This report serves as a snapshot of design-phase progress and is provided to the Client in order to update them on the general overall status of the design team (and possibly subconsultants) in relation to the contracted scope of work. This report should not serve as official scheduling document in so far as it may contradict the originally contracted work or pertain to adjustments in the overall scope of work. The report is intended as an informational document only - to be used by the client in understanding the current workload and path of the design team.

AXIOM PROJECT NO. 210144	DATE 4/11/23
CLIENT PROJECT NO. City of Riverside	PAGE 4



Pictures of existing retaining wall prior to construction and in poor conditions with separation in blocks and forward tilt of wall face.



Zoomed in view of existing retaining wall condition prior to construction.



Zoomed in picture of existing retaining wall, depicting tilt forward of wall face.



Additional pictures of existing wall in which you can see separation of block on both lower and upper walls, as well as tilt in fence behind lower wall.

PROJECT COORDINATOR or MANAGER SIGNATURE

NOTICE: AXIOM personnel have completed this report to the best of their ability in the most accurate fashion possible at the time and with the information available at the time of its writing. This report serves as a snapshot of design-phase progress and is provided to the Client in order to update them on the general overall status of the design team (and possibly subconsultants) in relation to the contracted scope of work. This report should not serve as official scheduling document in so far as it may contradict the originally contracted work or pertain to adjustments in the overall scope of work. The report is intended as an informational document only - to be used by the client in understanding the current workload and path of the design team.

From: Brian Boelk
Sent: Tuesday, August 9, 2022 7:40 AM
To: Jodi Kennedy
Cc: Jodi BBK; Christine Yancey
Subject: RE: [External] 71 3rd Street E stairs up from street

Good morning Jodi. My apologies for any misunderstanding, but as previously noted, the City's project is responsible for removing and replacing water main and sanitary sewer services from the main to the Right-of-Way. Any additional replacement of the private services between the Right-of-Way and the house is the responsibility of the property owner and is to be coordinated with the Contractor. It is my understanding that there are options for the property owner regarding the payment for this replacement of the private service via monthly City utility bills, but Christine would have more details on that. I have copied her into this email.

I can certainly have someone with Carter & Associates contact you and/or meet with you on site to discuss the options available for the replacement of sanitary or water services. Likewise, below is the best contact to initiate this conversation:

Chris Carter
319-631-4120

Thanks,



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2022
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jhkennedy21@gmail.com>
Sent: Monday, August 8, 2022 11:08 AM
To: Brian Boelk <bboelk@axiom-con.com>
Cc: Jodi BBK <bkjhkennedy@hotmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Hi Brian, Any word on the utility replacement agreements for homeowners? They are digging up most of our yard today and I was expecting we may hear from the city about the private line work, but have heard nothing from them so far.

Thanks, Jodi

On Tue, Jul 5, 2022 at 4:33 PM Brian Boelk <bboelk@axiom-con.com> wrote:

Thanks Jodi, and appreciate the phone call today.

Below is the contact information for Hardscape Solutions:

HARDSCAPE SOLUTIONS
805 Vernon Valley Dr.

Cedar Rapids, IA 52403

CELL: 31
OFFICE: 31
FAX: 31
EMAIL: cu

I will follow up with the City and Carter (utility contractor) on the sewer service.

Thanks,



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2022
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jlhkennedy21@gmail.com>

Sent: Tuesday, July 5, 2022 4:29 PM

To: Brian Boelk <bboelk@axiom-con.com>

Cc: Jodi LH Kennedy <jlhkennedy21@gmail.com>; Jodi BBK <bjhkennedy@hotmail.com>

Subject: Re: [External] 71 3rd Street E stairs up from street

Hello Brian, Thanks for the call back this afternoon regarding my questions on the private services work, etc

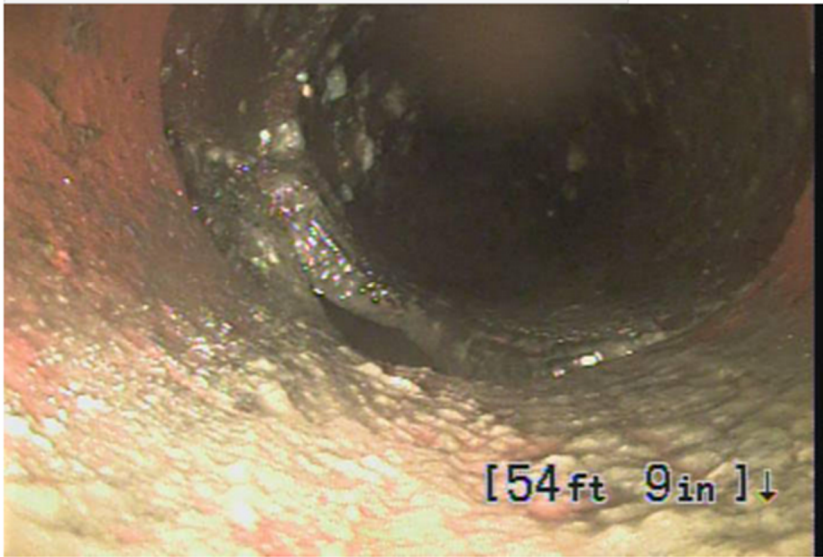
In answer to your questions on the sewer line, Action was able to come out on June 15th and took another video. I cannot seem to get the video loaded to this email. The Action guy said that structurally it seems to be sound, but it appears to be a piece missing in one spot, see below. The video shows the water is still running to the main line, but we would want to have at least that portion repaired if possible.

Per our conversation:

- Yes, we are interested in at least getting the line repaired where it does not run under the retaining wall. As we discussed, if it is possible to bore under the wall and replace the whole line, I'd be interested in more information on that. Let me know what you find out from Carter & Assoc on that.
- Yes, I would take the contact information on Hardscape Solutions, maybe they can give some recommendations on our existing retaining walls.
- Regarding the possibility of replacing private lines and assessing the costs to the homeowners if we do choose to have that work done. We have not yet received word from the City on how that will work. Will costs be assessed on taxes? We've talked with our neighbors about the project from time to time and I do not believe the city has provided those details. I appreciate your checking with the city at tonight's meeting, about their plans for that. Depending on cost and the condition of our current water line, we may be interested in replacing water as well.

Thanks in advance for your help.

Jodi



On Wed, Jun 29, 2022 at 5:22 PM Brian Boelk <bboelk@axiom-con.com> wrote:

Good evening Jodi. When I last touched base with the City Becky had noted that she would get the revised easement exhibit to you for signature. This would be the same one I previously provided you via email. I will check back in tomorrow and make sure this gets taken care of, sorry for the delay.

The retaining wall contractor is Hardscape Solutions. Please let me know if you want any contact info in case you are looking for pricing or improvements to your own wall.

Thanks for the update on the sewer video and glad you had it televised again. Did they happen to mention/note if it was a 4" or 6" service? Did you have Action Sewer do this?

Have a great night.



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



CBJ Best of the Corridor 2019-2022
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jlhkennedy21@gmail.com>
Sent: Wednesday, June 29, 2022 5:17 PM
To: Brian Boelk <bboelk@axiom-con.com>
Cc: Christine Yancey <cityadmin@riversideiowa.gov>
Subject: Re: [External] 71 3rd Street E stairs up from street

Hello Brian, Checking in on my email dated 06/06/2022. We still have not received the updated easement map from Becky/The City of Riverside. Will that be sent soon? Who is the retaining wall contractor? We had our line videoed a few weeks ago as the lost the pictures from Feb 2022.

We have not yet signed our easement as we would like to receive the updated plan from the City first. Thanks, Jodi

On Mon, Jun 6, 2022 at 1:43 PM Jodi Kennedy <jlhkennedy21@gmail.com> wrote:

Hi Brian, Thank you for the updated records. I will take a look. I have not yet received the copy in the mail from Becky. Regarding the sewer line video, Action did not send me the photos, only their invoice, and do not have the images any longer. I am trying to arrange with them to do a retake in the next couple of weeks so that I have a starting place on the private sewer line. Do you have a timeframe when work on our street is slated to begin?

Also, I think you were going to provide the name of the retention wall contractor? Thanks, Jodi

On Wed, Jun 1, 2022 at 9:44 AM Brian Boelk <bboelk@axiom-con.com> wrote:

Good morning Jodi. One additional follow-up. I was wondering if you would be able to share your video or report from action Sewer for your televised sanitary sewer service? I would like to put in our records to we have in case needed at later time.

Thanks,



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Brian Boelk <bboelk@axiom-con.com>

Sent: Tuesday, May 31, 2022 2:16 PM

To: Jodi Kennedy <jlhkennedy21@gmail.com>; Jodi BBK <bkikhennedy@hotmail.com>

Subject: RE: [External] 71 3rd Street E stairs up from street

Good afternoon Jodi and Brian, hope you had a great holiday weekend. It was nice to meet you both last week and thanks for the time to go over your questions and concerns. I have attached the following drawings as promised for your reference and records. Please note, I provided the revised easement document to the City as well and Becky noted that she would get that to you as it reflects no need for that easement on the east side as discussed.

Thanks,

BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



AXIOMCONSULTANTS
CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jhkennedy21@gmail.com>
Sent: Wednesday, May 25, 2022 2:42 PM
To: Brian Boelk <bboelk@axiom-con.com>; Jodi BBK <bjhkennedy@hotmail.com>; Jodi LH Kennedy <jhkennedy21@gmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Thanks, Brian. We'll plan to see you at 1:00. Let us know if that changes.

Jodi

On Wed, May 25, 2022 at 2:10 PM Brian Boelk <bboelk@axiom-con.com> wrote:

Thanks for the response Jodi and sharing the phone number. I will utilize as needed when time sensitive.

If tomorrow (Thursday) works for you after noon let's plan on that. Before 2:00 works best for me.

Thanks,

BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jlhkennedy21@gmail.com>
Sent: Wednesday, May 25, 2022 9:37 AM
To: Brian Boelk <bboelk@axiom-con.com>
Cc: Jodi BBK <bkjhkennedy@hotmail.com>; Jodi LH Kennedy <jlhkennedy21@gmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Thank you, Brian. I did not see your email until this morning. The best way to reach us at the last minute is by phone at 319-530-4981, which Brian's phone #. We would have the following available:

Today, Wed, at 6:30 pm

Tomorrow, Thurs after 12:00 pm

or Friday, 5:30 pm or later

Thank you,

Jodi & Brian Kennedy

319-530-7511 (Jodi)

319-530-4981 (Brian)

On Tue, May 24, 2022 at 5:09 PM Brian Boelk <bboelk@axiom-con.com> wrote:

My sincere apologies Jodi. With being out of the office last Thursday and Friday I have been playing catch up and realized I never responded to your email on verification of day and time to meet. Being that it is shortly after 5:00 on Tuesday I obviously screwed this up for today though I

could still meet before my P&Z meeting in West Branch that starts at 7:00 but I would need to be done by 6:30ish.

I am over in the Quad Cities for evening meetings Thursday but I could do after 5:30 tomorrow (Wednesday)?

Sorry for the late response.



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jlhkennedy21@gmail.com>
Sent: Wednesday, May 18, 2022 10:23 AM
To: Brian Boelk <bboelk@axiom-con.com>
Cc: Christine Yancey <cityadmin@riversideiowa.gov>; Jodi BBK <bjhkennedy@hotmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Let's go for next Tuesday the 24th, we're free between 2:00 and 3:00 or after 4:30. Let me know which works best for you. Thank you!

On Tue, May 17, 2022 at 1:11 PM Brian Boelk <bboelk@axiom-con.com> wrote:

Thanks Jodi. Today is booked and I am out of town Thursday and Friday for State track meet. I can have someone else from our office meet you on Thursday, or if you can wait until next week happy to meet you next Tuesday or another day after 5:30. Next Tuesday I'm available other than 10:00-12:00 in the morning.

Thanks,



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <lhkennedy21@gmail.com>
Sent: Tuesday, May 17, 2022 9:25 AM
To: Brian Boelk <bboelk@axiom-con.com>
Cc: Christine Yancey <cityadmin@riversideiowa.gov>; Jodi BBK <bkjhkennedy@hotmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Thank you, Brian. Tuesdays and Thursdays during the day work best, as we are both here. This Thursday afternoon would probably be best as my Tuesday next week is already full. We are also home most evenings after 5:30 if that is an option, or weekends at certain times.

On Tue, May 17, 2022 at 5:27 AM Brian Boelk <bboelk@axiom-con.com> wrote:

You bet Jodi. Let me know a time that works best for you. Is there a specific time of day or day itself that is best?

Thanks

BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jhkennedy21@gmail.com>
Sent: Monday, May 16, 2022 6:03 PM
To: Brian Boelk <bboelk@axiom-con.com>; Christine Yancey <cityadmin@riversideiowa.gov>
Cc: Jodi BBK <bkjhkennedy@hotmail.com>
Subject: Re: [External] 71 3rd Street E stairs up from street

Hello Brian, We received a request for an easement and we have several questions.

Could you call or set up a time to stop by to look at the plans please?

Thank you

Brian & Jodi Kennedy

319-530-7511

Get [Outlook for iOS](#)

From: Brian Boelk <bboelk@axiom-con.com>
Sent: Monday, May 9, 2022 10:31:02 AM
To: Jodi Kennedy <jhkennedy21@gmail.com>; Christine Yancey <cityadmin@riversideiowa.gov>
Cc: Jodi BBK <bkjhkennedy@hotmail.com>
Subject: RE: [External] 71 3rd Street E stairs up from street

Thanks for the heads up Jodi, much appreciated.



BRIAN BOELK PE, CPESC, CPMSM

Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2021

w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jlhkennedy21@gmail.com>

Sent: Monday, May 9, 2022 9:44 AM

To: Brian Boelk <bboelk@axiom-con.com>; Christine Yancey <cityadmin@riversideiowa.gov>

Cc: Jodi BBK <bkjhkennedy@hotmail.com>; Jodi LH Kennedy <jlhkennedy21@gmail.com>

Subject: [External] 71 3rd Street E stairs up from street

I have taken the rail off of the stairway on the city right of way at our place because we want to keep it. I wanted to let the City know so that the crew could put a caution tape around the bottom and top so that people don't use the stair without the rail. Thank you.

--

Jodi Kennedy

jlhkennedy21@gmail.com

319.530.7511

This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

From: Brian Boelk
Sent: Friday, December 16, 2022 5:13 PM
To: Jodi Kennedy
Cc: Christine Yancey; Adrienne Bricker; Nick Bettis; Jodi BBK; Kevin Kiene; Kevin Mills; Allen Schneider
Subject: RE: [External] Re: [External] Wall, safety, grading - 71 E Third Street

Good afternoon Jodi. Please see below my response based on your additional thoughts and information provided.

1. We are blocking off access to the stairs and sidewalk from below so to avoid anyone being on top of that wall rather than fencing on top of the walls. If you are referring to new top wall, the back of this is adjacent to a yard and generally does not then have railing placed behind like it would if it were adjacent to a sidewalk like the wall below. Similar to the existing walls you have in place, which also do not have any railing. We just received final shop drawings on the railings and again the intent is for the contractor to install as soon as all materials are in and weather allows.
2. The plan was to cut and cap the draitile sticking out this spring when the contractor is finishing work and cleaning up the project as a whole. Being that this is located in the front yard between two walls I don't foresee the need for anyone to be walking in this area during the winter months. With that, I can certainly put in a request so that if weather allows and the contractor has availability, that this be taken care of sooner than later. The cleanout (white pipe) is really installed at an elevation where it should be as you want to know where it is and have access to it if ever needed. We were trying to be proactive by installing this cleanout on top in case you ever needed access to the service on either the private or public side.
3. You are correct, the stairs and sidewalk are closed off via fencing and signage. You are not expected to remove snow and/or maintain this winter. I have also made it known to the contractor that they will need to continually monitor the signage and fencing throughout the winter so that it is in place.
4. The stairs are built to the current standards as set for by the State. These standards state that minimum tread be 11" and minimum riser height be 4", with a maximum riser height of 7". We replace to within the current design and construction standards, as often the existing or previously installed is no longer in compliance.
5. Please note, what I was trying to convey is that the contractor has wrapped up work for this year and halting activity for winter; thus, we had them hydromulch as much of the exposed grading as possible. As noted, there are a few areas that were not able to get backfilled properly due to other work going on in the area. This will all be addressed in the spring in which it will be properly graded and seeded.
6. Appreciate the information and your notes Jodi regarding our conversation. As you can imagine, I had and have a lot of these each and every day and can't always recall exactly each conversation which is why I noted I would look into my documents and go back to my records as well. I will continue to look into this and agree that it is steep, like it was before, but wanted to note that all of this grade is within the City's R.O.W.

Thanks and have a great weekend.



BRIAN BOELK PE, CPESC, CPMSM
Owner - Principal - Civil Services Manager



CBJ Best of the Corridor 2019-2022
w: axiom-con.com c: 319-400-1056



From: Jodi Kennedy <jhkennedy21@gmail.com>

Sent: Tuesday, December 13, 2022 2:03 PM

To: Brian Boelk <bboelk@axiom-con.com>

Cc: Christine Yancey <cityadmin@riversideiowa.gov>; Adrienne Bricker <abricker@axiom-con.com>;

Nick Bettis <nbettis@axiom-con.com>; Jodi BBK <bjhkennedy@hotmail.com>; Kevin Kiene

<kkiene@riversideiowa.gov>; Kevin Mills <kmills@riversideiowa.gov>; Allen Schneider

<mayor@riversideiowa.gov>

Subject: [External] Re: [External] Wall, safety, grading - 71 E Third Street

Brian, Thank you for your response. I have included members of the city council as my comments may concern the city directly as well. We are particularly concerned regarding safety and hazards on our property, as well as the unfinished work in the ROW. We have patiently waited the several months for the city to finish this project, only to find that there are several safety and hazard concerns.

We look forward to amicably resolving these issues so we can all move forward. Thank you in advance for your response.

Regarding your points below, please see my comments:

1. The 6' drop that the city has created, which is currently a hazard on our property, has not been fenced off. See the attached photos which I have collected this morning to illustrate that the safety fence is lying on our property in the yard where it was discarded and is clearly not blocking anyone from falling or sliding off of our yard, over the 6' drop to the concrete below. Please remedy this immediately as I believe it poses a hazard which has been created on our property by the city's work.
2. Again, the grade in the yard, is allowing for the sewer pipe to stick up several inches, causing a tripping hazard. When the snow falls this winter, if that black pipe is not capped, it too could pose a tripping hazard. Please remedy as soon as possible.
3. I see they have blocked the sidewalk access, as this is clearly unsafe, I want to clarify that we will not be responsible for clearing snow from sidewalks this winter as we do not want to be injured.
4. Regarding the stairs the city installed on our property, they are steep and narrow. I measured them today and found the tread is under 12" in several places. What are the required measurements for a staircase to comply with safety codes? When you met with us at our house, it was our understanding was that the city would replace things to what

they were. The current staircase is steep and narrow, and feels very dangerous, it is completely unlike the gradual stairs we had prior to the city's demolition.

5. I must disagree with your comments that all disturbed areas have been finished with mulch. See the attached photos, the city removed the rip-rap, the "fill" from the east ditch, dug into it, created large hillocks and clods, and has left it very disturbed with a steep slope, nearly vertical in places, loose, appears to be unstable and has definitely not been seeded. We are concerned that if it is left as-is it will be impossible to maintain as well as begin to collapse. The situation in the east ditch is now more hazardous than it was prior to the city's work. Please advise.

6. No-mow. In my notes which I documented after your visit to our property on 05/26/2022, I have the following in my notes from that conversation. In summary, when you spoke at length with us about the ongoing issues with the east ditch, you said there would be no-mow solution put in place. We were overjoyed as it seemed the city had resolved to solve the east ditch problem. Our understanding was that in your capacity as the city engineer, your statements were true and accurate. Please advise.

a. "J Kennedy, Notes 05/26/2022, visit with Brian Boelk on-site at our house: Spoke with Brian Boelk this afternoon. Talked about the past on the ditch, the steep ditch, the rip rap in the side. Brian mentioned there had been "maintenance issues" in that ditch. We gave history on the east ditch: in 2009 the city came after us to remove walnut trees that were grown up and several inches in circumference, they want us to remove the trees. We went in to the city council meeting and said no, they are your trees, we have them trimmed up from the road, etc. So Rodney Waldschmidt and another council, and a third person came and cut them down and we helped them load the trucks, to try to be cooperative. In that meeting, in 2009, members of the council agreed that it was hard to maintain, (Kevin Kiene talked about the daylilies and how they were supposed to hold up the ditch...) and said that they would be putting in a culvert the length of the ditch and then putting in fill so the slope is not so steep. They still have not done the full project. In about 2011/2012, they put in culvert under the alley and a bit of fill on either side of the alley drive and that was it. We said to B Boelk, that we have been waiting and it is now 2022 and they haven't done anything with it. Brian Boelk said they are planning to grade that east side a bit and put in a no-mow landscape on the east ditch. He agreed that the slope and grade of it is steep and a huge problem."

On Fri, Dec 9, 2022 at 11:16 AM Brian Boelk <bboelk@axiom-con.com> wrote:

Good morning Jodi, hope this finds you well. Appreciate you reaching out and the questions/concerns presented. My responses are as follows.

1. As previously noted, there will be safety rail along all of the retaining wall as planned. The railing is in fabrication and being galvanized, and plans to be installed during the winter once materials available and as weather allows. I will continue to get updates on schedule and status of the railing and be sure to keep you in the loop. In the meantime, the contractor is working today and next Monday to fully secure these areas with construction fence and traffic control so that those sidewalks, stairs, and walls are closed off as much as possible to all.

2. The white sewer pipe sticking up out of your front yard is the cleanout for the sanitary sewer service. We had a cleanout installed so that there is easy access to your sewer service in case needed for the purpose of maintenance/cleaning and/or televising. The black tile is a subdrain is the upstream end of the drain tile installed behind the retaining wall. This tile was left on top of the wall and below your existing wall for the purpose of future connection if so needed or desired from your existing wall and/or if you wanted to connect any existing tiles into it so that all run underground. With that, this tile still needs to be cut down and capped at the surface of the grade. What you are seeing is not permanent and will try to get contractor to address as soon as able.
3. Yes, all areas along the newly installed wall will have railings, which will be installed yet this winter and/or upcoming spring.
4. Yes, all stairs also get handrail installed. Like the safety rail, they are in the process of fabrication and will be installed once received and weather allows.
5. All areas disturbed have either received hydromulch and dormant seeding (east of Greene) for final stabilization, or simply hydromulch (west of Greene) at this time for stabilization through the winter. The contract calls for the same type of seeding throughout the project for all areas disturbed. That slope between your existing wall and the new one is similar to what was there before for the entire front yard. We were unable to get any closer due to the existing condition of your wall and avoiding any impacts.
6. I don't recall noting that we would provide a no-mow stabilization or final seeding on that east ditch, but certainly can look back in my notes and documentation. Please note, this is all within the City R.O.W. and similar to all areas associated with this project and within the City R.O.W. we are applying the same seed mix. With that, we have been utilizing Flexterra hydraulic mulch with the seeding east of Greene as it provides a strong structural bonding to reduce/prevent erosion rather than needing erosion control blankets which cause issues later with mowing. We were not able to get west of Greene seeded but instead only mulched, but this will be addressed in the Spring.

Thanks again Jodi for your patience throughout the project and let me know if you have any additional questions or concerns. Have a great weekend.



BRIAN BOELK PE, CPESC, CPMSM

Owner - Principal - Civil Services Manager

AXIOMCONSULTANTS

CBJ Best of the Corridor 2019-2022

w: axiom-con.com c: 319-400-1056



From: Christine Yancey <cityadmin@riversideiowa.gov>
Sent: Tuesday, December 6, 2022 9:31 AM
To: Adrienne Bricker <abricker@axiom-con.com>; Brian Boelk <bboelk@axiom-con.com>; Nick Bettis <nbettis@axiom-con.com>; Rob Decker - Axiom Consultants <rdecker@axiom-con.com>
Subject: FW: [External] Wall, safety, grading - 71 E Third Street

Hi Brian,

Can we discuss these issues on Wednesday? I know what is happening with the railing, but not sure on the other items.

Christine

From: Jodi Kennedy <jhkennedy21@gmail.com>
Sent: Tuesday, December 6, 2022 9:27 AM
To: Christine Yancey <cityadmin@riversideiowa.gov>
Cc: Jodi BBK <bjhkennedy@hotmail.com>
Subject: Wall, safety, grading - 71 E Third Street

Dear City Administrators, I am reaching out to the city with some questions/concerns about the work done on our yard with the 3rd Street project.

1) The City has installed a retaining wall on our property, which creates a 6' drop from our yard to the sidewalk below. Brian Boelk indicated that any high areas created with the new retaining walls would have a safety rail to prevent falls. There is no rail installed and there is no construction fence up (although there is a pile of T-posts and construction fencing laying in our yard). Could the City please secure this with a fence as it creates a hazard as soon as possible? Please indicate when the railing will be installed.

2) There is white sewer pipe sticking up about 6" out of our front yard, as well as a much longer piece of black drainage tile sticking up out of our front yard. Could the City please finish off the black tiling pipe? As well as finish the grade so that these items are not a tripping hazard, this winter, please?

3) When we spoke to Brian Boelk this past summer, he indicated that all high places off of the retaining wall would have a rail which I expect the city will be installed in the spring?

4) Will there be rails installed on the steep staircase that the city has installed on our property, when can we expect to see that installed?

5) The grade in our front yard is at a fairly steep angle which makes it difficult to walk in that part of the yard. Additionally, we had zoysia grass in place, which the city has completely destroyed even past the easment line granted. It appears it has been seeded with regular grass seed, what is the recourse if regular seed does not hold the erosion? We would prefer to have the zoysia re-seeded as it can be expensive to establish.

6) On the east ditch, Brian Boelk indicated there would be a "no-mow" solution installed on that hill. At the moment it has been torn up, regraded and left as is. This appears to us to create potential for more erosion, difficulty in maintaining, etc in this area. Could you clarify the city's solution and the time frame, please?

Thank you

Brian & Jodi Kennedy

jlhkennedy21@gmail.com
319.530.7511

NOTICE: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

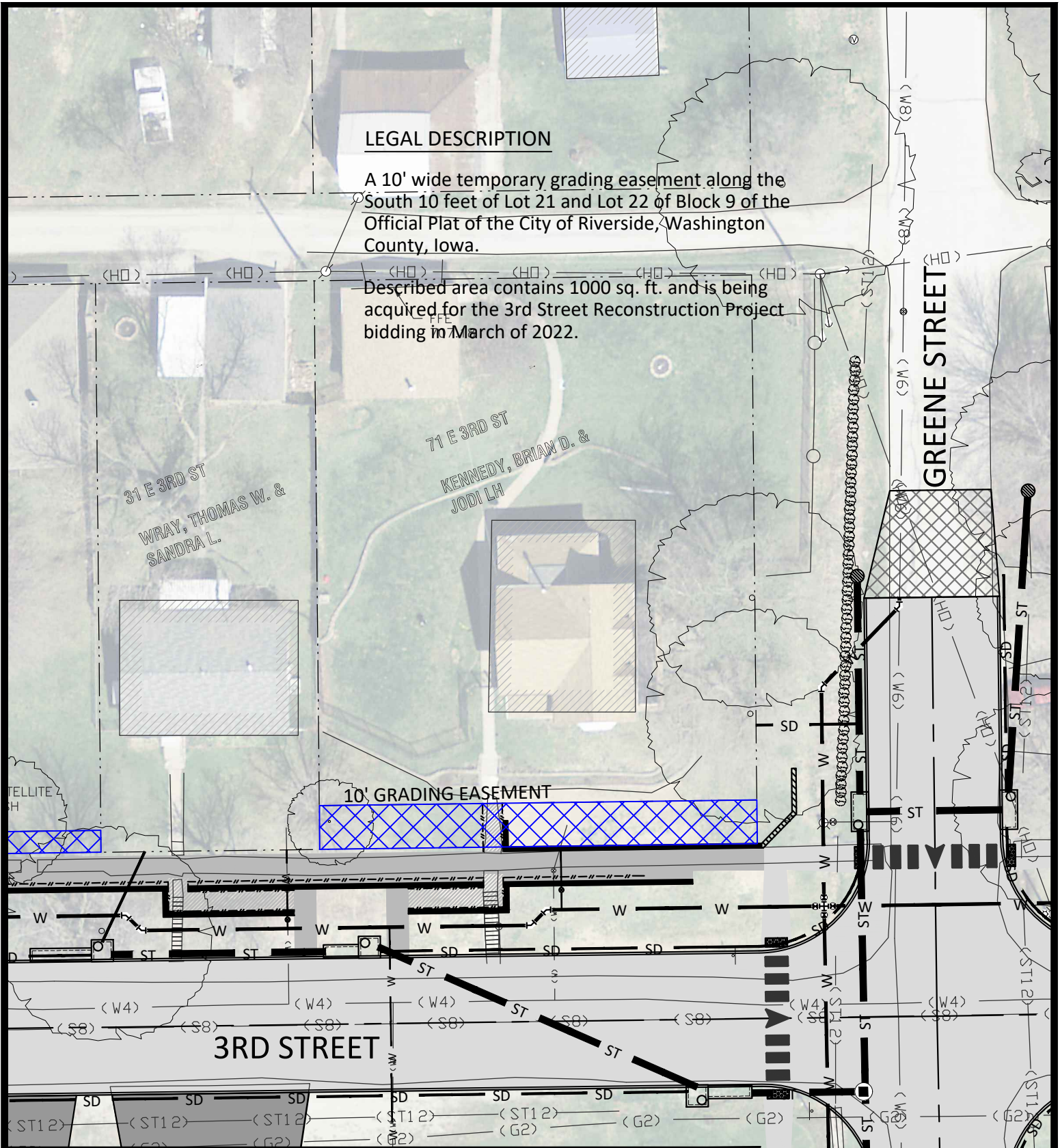
--

Jodi Kennedy
jlhkennedy21@gmail.com
319.530.7511

LEGAL DESCRIPTION

A 10' wide temporary grading easement along the South 10 feet of Lot 21 and Lot 22 of Block 9 of the Official Plat of the City of Riverside, Washington County, Iowa.

Described area contains 1000 sq. ft. and is being acquired for the 3rd Street Reconstruction Project bidding in March of 2022.



WWW.AXIOM-CON.COM | (319) 519-6220

SHEET TITLE: 71 E 3RD ST
PROJECT NAME: THIRD STREET IMPROVEMENTS

DESIGN PROFESSIONAL: BOELK/BETTIS	PROJECT NO.: 210144
DATE ISSUED: 05-27-2022	SHEET NUMBER: 1 OF 1
CURRENT REV:	